

LUXURY  
IS WHAT  
YOU FEEL.

Member of  
**CREDAI**



2 BHK LUXURY APARTMENTS @ DWARAKA SAI COLONY, HANAMKONDA

**REYAANSH**  
**ASPIRE**  
Adorning Your Outer World

A project by



DELIGHT  
IS WHAT  
YOU GET.



2 BHK  
3 D VIEWS



EAST-FACING  
FLAT NO. 1

1145 Sft



NORTH-FACING  
FLAT NO. 2

965 Sft



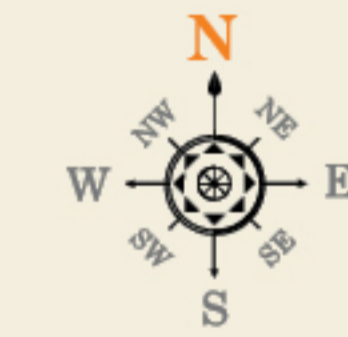
WEST-FACING  
FLAT NO. 3

1120 Sft

## PRIVACY IS WHAT'S YOUR RIGHT.

Reyaansh Aspire is a community of exclusive 2 BHK homes with three units on each floor. Explore it keenly, and you'll realize that none of the homes here share a common wall. This ensures that there's enough privacy, loads of natural light and abundant ventilation around you, with enough spaces for your kids to go around the corridors.

ROAD



### TYPICAL FLOOR PLAN

Area Statement

Flat No.	1	2	3
Type	2 BHK	2 BHK	2 BHK
Facing	East	North	West
Carpet Area (Sft)	754	674	770
Plinth Area (Sft)	900	760	880
Saleable Area (Sft)	1145	965	1120

REYAANSH  
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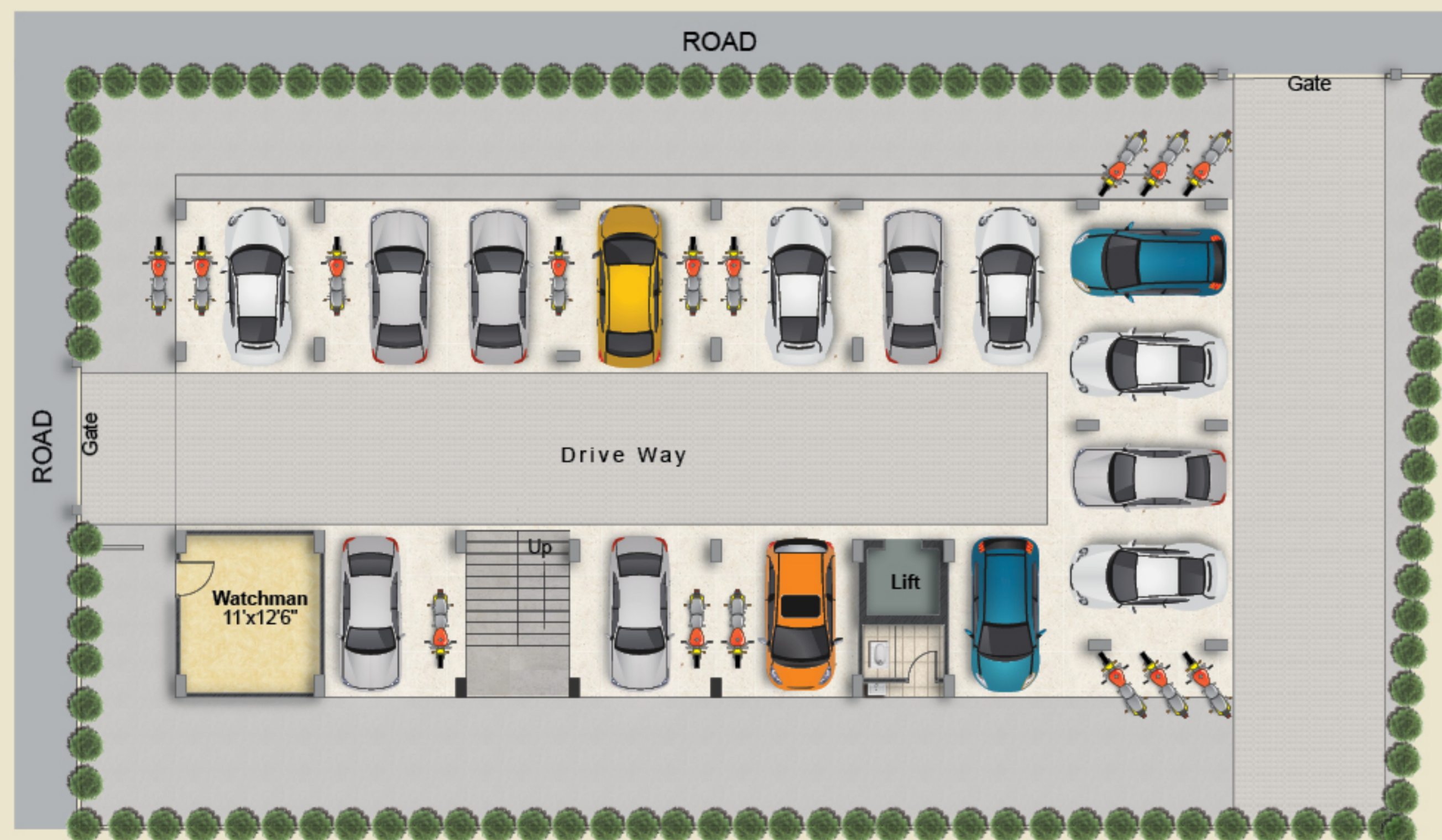
FEATURES

- Ample car parking
- Excellent ventilation
- No common walls
- Quality construction
- 100% vastu
- Power back up generator

PLEASURE  
 IS WHAT YOU  
 EXPERIENCE.

Enjoy good times and great evenings at the nice little features that Reyaansh Aspire is home to. With a bunch of amenities and facilities that make life complete, here are features that complement the entire living experience as well.

PARKING PLAN



SPECIFICATIONS

<p><b>STRUCTURE</b>        RCC-framed structure. Outer walls of 9" and inner walls of 4" thickness in lightweight AAC blocks / Red bricks of best quality.</p>	<p><b>PAINTING</b>        Internal: Smooth finish with emulsion paint. External: combination of textured / Sponge finish.</p>	<p><b>POWER BACK-UP</b>        Acoustically insulated stand-by generator for lift, lights in common areas and pumps.</p>
<p><b>DOORS</b>        Main Door: Teakwood frame and shutters. Internal Doors: Teakwood frame flush shutters.</p>	<p><b>KITCHEN</b>        Granite platform with SS / granite sink and two feet height of glazed tiles.</p>	<p><b>CABLE TV</b>        Provision for cable TV connection in hall and master bedroom.</p>
<p><b>WINDOWS</b>        UPVC Windows with MS safety grills.</p>	<p><b>ELECTRICAL</b>        Concealed copper wiring of standard-make with adequate light, fan, power plugs and points with standard-make modular switches.</p>	<p><b>LIFT</b>        Six-passenger lift of standard-make.</p>
<p><b>FLOORING</b>        Double-charged vitrified 2' x 2' ceramic tiles in living/ dining and bedrooms, anti-skid ceramic tile flooring in balconies and toilets.</p>	<p><b>PLUMBING AND WATER SUPPLY</b>        EWC of reputed make, wash basins in master bed toilet &amp; dining areas.</p>	<p><b>NOTE</b>        1) Registration charges, GST and any other taxes applicable as per Government norms to be borne by customers only.        2) Extra cost for Amenities, Car parking to be borne by customers only.</p>



**LOCATION PLAN**  
(not to scale)



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Note: This brochure is only a conceptual presentation of the project and not a legal offering.  
The promoters reserve the right to make changes in plans, specifications and elevation as deemed fit.

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